

CONTRACTOR NOTES

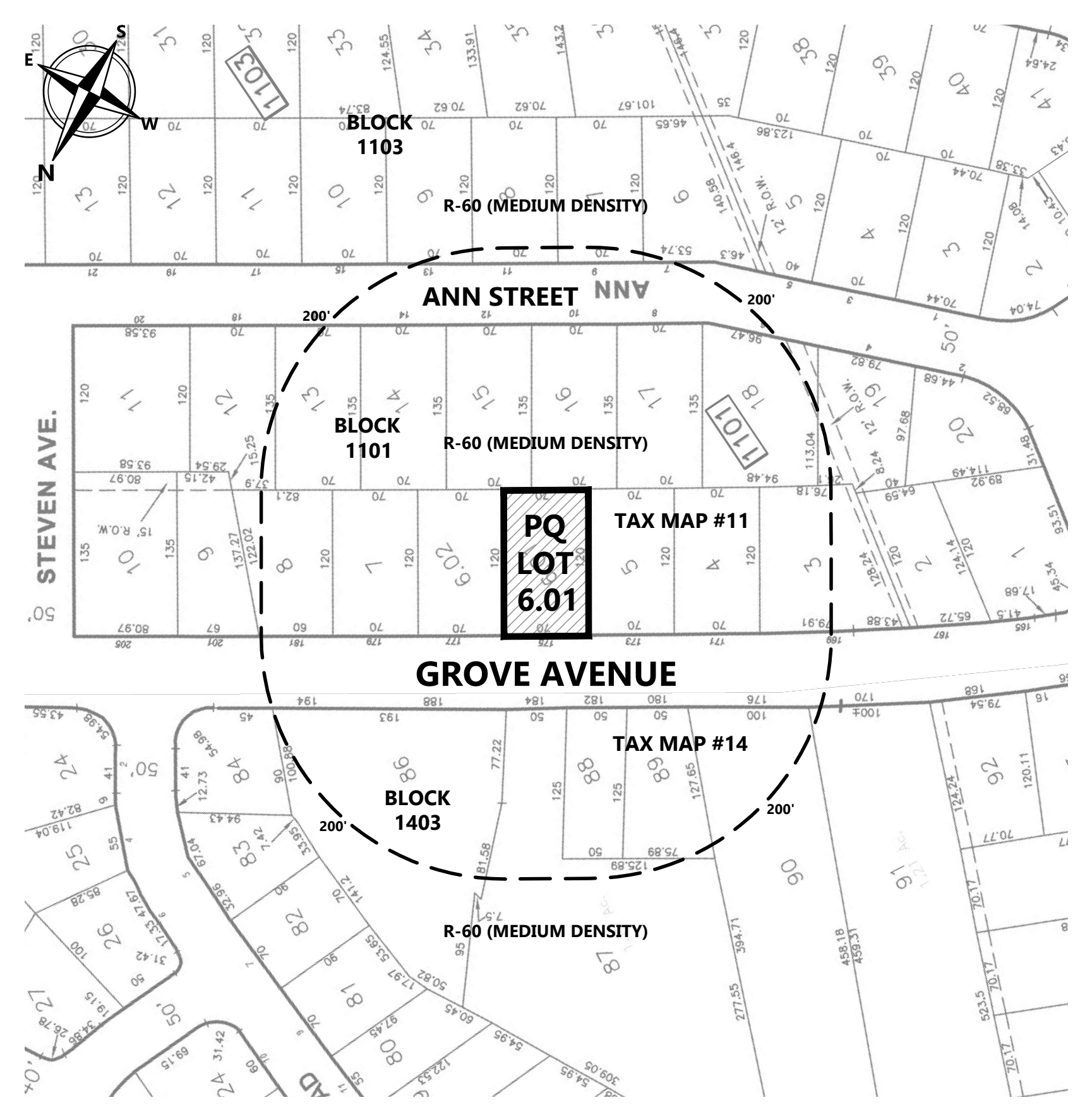
- EXCAVATION CONTRACTOR TO CALL AND CONFIRM FOR UTILITY MARK-OUT PRIOR TO ANY EXCAVATION. GENERAL CONTRACTOR, OWNER, AND/OR PERSON IN CHARGE OF CONSTRUCTION TO CONFIRM PRIOR TO ANY EXCAVATION ACTIVITY
- AS PER LOCAL PUBLIC SERVICE UTILITY(S) COMPANY(S), THERE IS A POSSIBILITY FOR AN EXISTING BLANKET EASEMENT TO UTILIZE LAND ALONG PROPERTY FRONTAGE, WHICH MAY OR MAY NOT HAVE EFFECTS TO THIS APPLICATION, WHEREAS THE PROVIDED DESIGN PLANS PRESENT NONE. PENDING UTILITY MARK-OUT AND VERIFICATION(S), THE OWNER & CONTRACTOR SHALL COORDINATE ANY MODIFICATIONS WITH THE UTILITY(S) COMPANY(S) THEREOF, IF SUCH CASE SHOULD ARISE. ONELLO ENGINEERING SHALL BE KEPT INFORMED OF ANY MODIFICATIONS THERETO
- ANY ENCOUNTERED SUB-SURFACE OIL TANKS, SEPTIC SYSTEMS, OR WELLS SHALL BE ABANDONED AS PER STATE OF NEW JERSEY STANDARDS FOR UNDERGROUND STORAGE TANKS (UST), SANITARY CODE, AND WELLS. CONTACT ONELLO ENGINEERING IF UNKNOWN FACILITIES ARE ENCOUNTERED DURING CONSTRUCTION. CONSTRUCTION ACTIVITY SHALL HALT UNTIL CONFIRMATIONS AND VERIFICATIONS OF CONTINUANCE THERETO
- CONTRACTOR SHALL VERIFY ALL UTILITY(S) LOCATIONS AND CONNECTIONS FOR ALL EXISTING AND PROPOSED SERVICE FACILITIES, RETROFITS, AND/OR NEW CONNECTIONS, (AS APPLICABLE, REQUIRED, AND NECESSARY)
- ON-SITE DRYWELL SEEPAGE PITS MAY EXIST (FOR DRAINAGE, SANITARY, AND/OR OTHER USE), WHICH MAY NOT CONFORM TO TRAFFIC-LOADING REQUIREMENTS. CONTRACTOR SHALL USE NECESSARY PIPE-TRACING MEANS TO LOCATE DRYWELL SEEPAGE PIT LOCATIONS, (AND/OR VERIFY NON-EXISTENCE THEREOF) PRIOR TO DRIVING HEAVY DUTY EXCAVATION EQUIPMENT ACROSS ANY AREAS OF THE PROPERTY
- CONTRACTOR SHALL CONFINE ALL CONSTRUCTION ACTIVITY AND EQUIPMENT STAGING WITHIN THE LIMIT OF DISTURBANCE AS SET FORTH WITHIN THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN (OR OTHER APPLICABLE PRE-DETERMINED ALLOWABLE AREA FOR CONSTRUCTION ACTIVITY)
- PRE-CONSTRUCTION MEETING AND NOTIFICATION REQUIREMENT: THE OWNER, GENERAL CONTRACTOR, AND/OR ANY SUB-CONTRACTOR ASSOCIATED WITH WORK IN RELATION TO THIS ENGINEERED PLAN SET (AS PROVIDED BY ONELLO ENGINEERING) SHALL CONTACT ONELLO ENGINEERING PRIOR TO ANY WORK BEING PERFORMED. FIVE (5) BUSINESS DAYS REQUIRED NOTIFICATION TO ONELLO ENGINEERING PRIOR TO START OF PROJECT. THEREAFTER, FIVE (5) BUSINESS DAYS NOTIFICATION TO ONELLO ENGINEERING IS REQUIRED PRIOR TO THE START OF ANY ADDITIONAL WORK PHASES AS SITE CONDITIONS MAY OR MAY NOT HAVE CHANGED DURING CONSTRUCTION
- PRIOR TO ANY SITE WORK BEING PERFORMED AS PER THIS CONSTRUCTION DESIGN PLAN SET, THE OWNER, THE GENERAL CONTRACTOR, (AND/OR SUB-CONTRACTOR(S) ASSOCIATED WITH ANY WORK AS PER THIS CONSTRUCTION DESIGN PLAN SET), SHALL CONTACT ONELLO ENGINEERING AT LEAST FIVE (5) BUSINESS DAYS IN ADVANCE TO SCHEDULE A PRE-CONSTRUCTION MEETING. A DATE, TIME, AND LOCATION SHALL BE AGREED UPON AND SUITABLE TO ALL ATTENDEES, WHEREAS A "FORCED MEETING" SHALL NOT BE ACCEPTABLE
- CONSTRUCTION ACTIVITY IN RELATION TO THE DESIGN AS SET FORTH WITHIN THESE DESIGN PLANS SHALL NOT BEGIN WORK WITHOUT THE OWNER AND CONTRACTOR CONTACTING ONELLO ENGINEERING AND OBTAINING AUTHORIZATION THERETO. ONELLO ENGINEERING STIPULATES THIS IS AN ABSOLUTE REQUIREMENT TO BE NOTIFIED OF ANY AND ALL CONSTRUCTION ACTIVITY PRIOR TO ANY SITE WORK BEING PERFORMED AS PER THIS DESIGN PLAN SET, (REGARDLESS OF SITE CONDITIONS)
- CONTRACTOR SHALL CONTACT ONELLO ENGINEERING TO VERIFY SITE ELEVATION BENCH-MARK AND ANY OTHER PERMANENT EXISTING CONDITIONS IMPROVEMENT USED TO MEASURE OR SET LOCATIONS FOR THE INSTALLATION OF ANY IMPROVEMENTS; BENCH-MARK SHALL BE VERIFIED PRIOR ANY INSTALLATIONS THERETO
- OWNER OR CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SHOULD ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, WHICH MAY AFFECT THE VERTICAL AND/OR HORIZONTAL POSITION OF ANY PROPOSED STRUCTURES AND IMPROVEMENTS (INCLUDING, BUT NOT LIMITED TO BUILDING FOUNDATION(S), POOL AND/OR SPA, RETAINING WALLS, DETACHED ACCESSORY STRUCTURES, HARDSCAPES, PATIOS, DRIVEWAYS, OR SIMILAR IMPROVEMENTS AS PER DESIGN PLAN)
- ONELLO ENGINEERING SHALL NOT BE RESPONSIBLE FOR ANY WORK PERFORMED WITHOUT NOTIFICATION OF WORK BEING PERFORMED WHICH IS NOT IN CONFORMANCE WITH THE DESIGNS AS LAID OUT WITHIN THIS CONSTRUCTION DESIGN PLAN SET. AUTHORIZATION OF DESIGN CHANGE-ORDERS SHALL BE CONFIRMED AND VERIFIED VIA ONELLO ENGINEERING

PROPOSED IMPROVEMENTS
SEQUENCE OF INSTALLMENT
VERIFICATIONS

THIS NOTES SECTION SHALL BE APPLICABLE TO ALL PROPOSED CONDITIONS, INCLUDING, BUT NOT LIMITED TO: BUILDING(S), POOL(S), & ANY HARDSCAPE IMPROVEMENTS TO BE INSTALLED AS PER THESE DESIGN PLANS

- PRE-CONSTRUCTION MEETING REQUIRED, AS LISTED WITHIN THE PLAN SET SECTION ENTITLED: "CONTRACTOR NOTES"
- CONTRACTOR SHALL RETAIN NEW JERSEY LICENSED SURVEYOR VIA ONELLO ENGINEERING TO PROVIDE THE FOLLOWING CONSTRUCTION SEQUENTIAL TASK-ITEM CONSTRUCTION SERVICES
- SITE ELEVATION BENCH-MARK(S) SHALL BE SET, ESTABLISHED, CONFIRMED, AND VERIFIED FOR CONTINUAL USE THROUGHOUT CONSTRUCTION; (TRIANGULATE ELEVATION TO SITE SPECIFIC AREA FOR LINE OF SIGHT AS NECESSARY); SITE WORK CONTRACTOR SHALL HAVE LASER-LEVEL UNIT FOR CONTINUAL VERIFICATIONS DURING CONSTRUCTION ACTIVITY
- IF SITE ELEVATION BENCH-MARK IS COMPROMISED, IMMEDIATELY CONTACT PROJECT SURVEYOR FOR A NEW SITE ELEVATION BENCH MARK TO BE SET. ALL SITE ELEVATIONS SHALL BE RE-CONFIRMED AND VERIFIED AS APPLICABLE AND NECESSARY PRIOR TO THE CONTINUANCE OF SITE CONSTRUCTION ACTIVITY; (PROJECT SURVEYOR SHALL HAVE ORIGINAL HORIZONTAL COORDINATES CONTROL AND VERTICAL TOPOGRAPHIC ELEVATION CONTROL)
- STAKE-OUT BUILDING AND HARDSCAPE LOCATIONS AND PROVIDE A LAYOUT MAP WITH STAKE BACK-SHOT LOCATIONS AND ELEVATIONS (AT GRADE LEVEL) FOR REVIEW AND USE BY CONTRACTOR AND ENGINEER
- IF NO FOOTINGS ARE REQUIRED FOR FOUNDATION BUILDING WALL OR HARDSCAPE COMPONENTS TO BE INSTALLED UPON, (PRE-CASTED WALL PANEL, MODULAR BLOCKS, OR SIMILAR), STAKES (OR PINS) SHALL BE SET AT RESPECTIVE CORNERS, WITHIN COMPACTED GRAVEL OR DGA BASE-COURSE. PROVIDE A LAYOUT MAP WITH BACK-SHOT LOCATIONS AND ELEVATIONS (AT SET PIN) FOR REVIEW AND USE BY CONTRACTOR AND ENGINEER
- IF DESIGN PLANS CALL FOR FOUNDATION FOOTINGS, AFTER FOUNDATION FOOTINGS FORMS ARE INSTALLED, PERFORM FOOTING AS-BUILT PRIOR TO CONCRETE INSTALLATION TO VERIFY HORIZONTAL ALIGNMENT AND VERTICAL ELEVATIONS
- AFTER FOUNDATION FOOTINGS ARE CURED, FOUNDATION WALL AND/OR HARDSCAPE WALL "CORNERS" SHALL BE PINNED, AND SUBSEQUENTLY, THE TOP OF FOOTING ELEVATION SHALL BE VERIFIED (ALSO KNOWN AS: "PINNING THE FOOTINGS" & "FOOTING AS-BUILT SURVEY"). PROVIDE A LAYOUT MAP WITH BACK-SHOT LOCATIONS AND ELEVATIONS (AT SET PIN) FOR REVIEW AND USE BY CONTRACTOR AND ENGINEER
- IF MASONRY WALL IS TO BE "CAST-IN-PLACE" (STEEL REINFORCED CONCRETE), AFTER FORMS HAVE BEEN SET, A WALL FORM AS-BUILT SURVEY SHALL BE PROVIDED, WHICH SHALL VERIFY THE FOUNDATION LOCATION, (HORIZONTAL ALIGNMENT AND VERTICAL ELEVATIONS)
- AFTER FORMS HAVE BEEN POURED AND CURED, A FOUNDATION LOCATION AS-BUILT SURVEY SHALL BE PROVIDED, WHICH SHALL VERIFY THE FOUNDATION LOCATION AND TOP OF FOUNDATION ELEVATION (HORIZONTAL ALIGNMENT AND VERTICAL ELEVATIONS)
- IF FOUNDATION WALLS ARE CONSTRUCTED WITH INDIVIDUAL CONCRETE MASONRY UNITS (CMU WALL), AFTER COMPLETION, A WALL LOCATION AS-BUILT SURVEY SHALL BE PROVIDED, WHICH SHALL VERIFY THE FOUNDATION LOCATION AND TOP OF FOUNDATION ELEVATION (HORIZONTAL ALIGNMENT AND VERTICAL ELEVATIONS)
- IF FOUNDATION WALLS ARE PRE-CASTED AND INSTALLED ON-SITE, AFTER COMPLETION, A FOUNDATION LOCATION AS-BUILT SURVEY SHALL BE PROVIDED, WHICH SHALL VERIFY THE PROPOSED FOUNDATION LOCATION AND TOP OF FOUNDATION ELEVATION (BOTH HORIZONTALLY & VERTICALLY)
- INTERIM AS-BUILT LOCATION AND ELEVATION VERIFICATION TASK-ITEMS MAY BE OMITTED / WAIVED, BY THE OWNER AND THE GENERAL CONTRACTOR PROVIDING NOTICE TO ONELLO ENGINEERING WITH FULL ACKNOWLEDGMENT OF ALL PARTIES. REGARDLESS IF NOTICE IS PROVIDED TO ONELLO ENGINEERING (OR NOT), ANY WAIVED VERIFICATION TASKS ARE THE RESPONSIBILITY OF THE OWNER AND THE GENERAL CONTRACTOR
- A FOUNDATION LOCATION AS-BUILT SURVEY IS REQUIRED TO BE PROVIDED TO THE MUNICIPAL BUILDING / CONSTRUCTION DEPARTMENT PRIOR TO THE RELEASE OF A FRAMING PERMIT, WHICH SHALL DEMONSTRATE CONFORMANCE WITH THIS APPROVED DESIGN ENGINEERING PLOT PLAN (HORIZONTAL ALIGNMENT AND VERTICAL ELEVATIONS)
- CONTRACTOR RESPONSIBLE FOR PROVIDING SURVEY FIELD-CREW WITH PEDESTRIAN ACCESS TO TOP-OF-FOUNDATION LOCATIONS FOR AS-BUILT SURVEY REQUIREMENTS (AS APPLICABLE AND NECESSARY). ACCESS SHALL MEET OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS
- PRIOR TO FOUNDATION BACK-FILL, ALL SUB-GRADE FOUNDATION SURFACES SHALL BE WATERPROOFED AS PER STANDARDS WITHIN THESE DESIGN PLANS AND/OR AS PER THE STANDARDS ENTAILED WITHIN THE APPROVED ARCHITECTURAL DRAWINGS
- REGARDLESS OF ARCHITECTURAL REQUIREMENTS, THE FOUNDATION SHALL BE WATERPROOFED WITH SEALANT AND DRAINAGE DIMPLE-BOARD LEADING TO A VIABLE AND APPROVED DRAINAGE DISCHARGE OR CONVEYANCE LOCATION
- EXPOSED FOUNDATION WINDOW WELLS & CASINGS SHALL BE WATER-PROOFED; INSET WINDOW-WELL GRADE SURFACE SHALL BE MINIMUM 4" THICKNESS CLEAN-CRUSHED STONE (OVER GEOTEXTILE FABRIC) AND SET 8" BELOW THE WINDOW WITH INTERNAL DRAIN LEADING TO FOUNDATION DRAIN AND/OR PUMP-PUMP. EXTERIOR GRADE ATOP WINDOW-WELL WALL SHALL BE PITCHED AT MINIMUM 5.0% "DOWN & AWAY" FROM FOUNDATION; INSTALLATION REQUIREMENTS MAY VARY, CONTRACTOR SHALL CONFIRM ALL SPECIFICATIONS WITH OWNER & ARCHITECT
- A FULLY FUNCTIONING "SUMP-PUMP" SHALL BE INSTALLED WITHIN THE FOUNDATION BASEMENT FLOOR WITH EMERGENCY BATTERY BACK-UP AND ALARM, (CONNECT TO EMERGENCY BACK-UP GENERATOR IF APPLICABLE)
- ONELLO ENGINEERING ACCEPTS NO RESPONSIBILITY TO ANY FOUNDATION DAMAGES RESULTING FROM THE OCCURRENCE OF GROUNDWATER, (REGARDLESS OF APPLIED WATER-PROOFING MATERIALS AND/OR MECHANICAL PUMPS)
- IT IS THE RESPONSIBILITY OF THE OWNER & ARCHITECT TO PROVIDE FOR THE SAFEGUARD OF BUILDING FOUNDATIONS AGAINST GROUNDWATER CONDITIONS; THE MOST CURRENT / INDUSTRY STANDARD TECHNOLOGY SHALL BE UTILIZED THERETO (WATER-PROOFING MEMBRANES, DRAINAGE BOARDS, DRAINAGE CONVEYANCE TILE / PIPE, ELECTRONICS, ALARMS, BACK-UP PUMPS, DUPLEX PUMP CIRCUITRY CONTROLS, AUTOMATIC EMERGENCY GENERATOR, ETC). ANY WAIVER OF RECOMMENDED WATER-PROOFING COMPONENTS IS THE RESPONSIBILITY OF THE OWNER
- ALL ASSOCIATED FEES AS PER THE ABOVE LISTED CRITERIA AND TASK-ITEM SERVICES ARE THE RESPONSIBILITY OF THE OWNER AND/OR GENERAL CONTRACTOR (AS PER CONTRACTUAL AGREEMENT THERETO)
- IF NECESSARY, CONTACT ONELLO ENGINEERING FOR FURTHER CLARIFICATION, DIRECTION, AND VERIFICATIONS

SITE PLAN
POOL & POOLSCAPE
FOR
WHITING RESIDENCE
ZONING BOARD OF ADJUSTMENT
#175 GROVE AVENUE
LOT 6.01 - BLOCK 1101
TOWNSHIP OF VERONA
ESSEX COUNTY, NEW JERSEY



PROPERTY LOCATION MAP
VERONA TAX MAPS #11 & #14
GRAPHIC SCALE
1" = 200 ft.

TREE NOTES

- IF TREES ARE TO BE REMOVED AS PART OF THIS APPLICATION, THE OWNER SHALL OBTAIN A TREE REMOVAL PERMIT FROM THE MUNICIPALITY
- CONSTRUCTION ACTIVITY SHALL BE KEPT CLEAR OF ALL TREES TO REMAIN, WHEREAS TREE PROTECTION SHALL BE INSTALLED IF AND WHERE NECESSARY AS PER THE PROVIDED CONSTRUCTION DETAIL WITHIN THIS PLAN SET
- NO ADJACENT PROPERTY(S) TREE ROOTS SHALL BE COMPROMISED AS A RESULT OF THIS APPLICATION. IF ADJACENT PROPERTY(S) TREE ROOTS ARE ENCOUNTERED DURING EXCAVATION, THE IMMEDIATE ARE EXCAVATION SHALL COME TO A HALT, WHEREAS THE ADJACENT PROPERTY OWNER(S) SHALL BE CONTACTED ACCORDINGLY. A TREE EXPERT SHALL BE ENGAGED TO EVALUATE THE PROPOSED EXCAVATION ACTIVITIES AT THE SOLE COST OF THE OWNER

GENERAL PLAN NOTES

- SUBJECT PROPERTY KNOWN AS: LOT 6.01 (BLOCK 1101), #175 GROVE AVENUE, TOWNSHIP OF VERONA, TAX MAP #11, COUNTY OF COUNTY, DEED BOOK #20190 (PAGE #76873), STATE OF NEW JERSEY
- PROPERTY LOCATED IN THE R-60 (MEDIUM DENSITY SINGLE FAMILY) ZONE DISTRICT, BULK ZONING AS PER TOWNSHIP OF VERONA CODE SECTION §150-17.3
- THERE ARE NO KNOWN COVENANTS AND/OR DEED RESTRICTIONS AFFECTING THE SITE, WHICH HAVE BEEN DISCLOSED TO ONELLO ENGINEERING. OWNER SHALL VALIDATE IF REQUIRED BY REVIEW AGENCY(S)
- EXISTING CONDITIONS ARE REPRESENTATIVE WITHIN THIS PLAN SET AS PER THE REFERENCED PROPERTY SURVEY
- OWNER AND/OR CONTRACTOR SHALL OBTAIN ALL APPLICABLE AND REQUIRED PERMITS (AND APPROVALS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY)
- ALL REMOVED MATERIALS DURING DEMOLITION AND CONSTRUCTION SHALL BE DISCARDED AND/OR RECYCLED AS PER SUITABLE STANDARDS OF THE TOWNSHIP OF VERONA
- CONTRACTOR SHALL RETAIN AN OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON-SITE AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION ACTIVITIES
- NO WORK SHALL BE PERFORMED NOR DISTURB ADJACENT PROPERTIES (WHICH ARE NOT UNDER COMMON OWNERSHIP) WITHOUT AUTHORIZED WRITTEN CONSENT OF ADJACENT PROPERTY OWNER(S); GRADING AND DRAINAGE PATTERNS SHALL NOT ADVERSELY IMPACT ADJACENT PROPERTIES
- CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE ANY DAMAGES TO EXISTING IMPROVEMENTS, WHICH ARE SPECIFIED TO REMAIN, AT ITS EXPENSE AND TO THE SATISFACTION OF THE OWNER
- ALL CONTRACTORS SHALL INDEMNIFY AND HOLD HARMLESS ONELLO ENGINEERING AND ITS SUB-CONSULTANTS (TO THE FULLEST EXTENT PERMITTED BY LAW) AGAINST ANY DAMAGES AND LIABILITIES (INCLUDING OF ATTORNEY'S FEES) ARISING FROM CLAIMS BY EMPLOYEES OF THE CONTRACTOR(S) IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE
- GROVE AVENUE IS A COUNTY OF ESSEX ROADWAY (ROUTE 639) WITHIN A RIGHT-OF-WAY. ALL CONTRACTORS AND PERSONS ASSOCIATED WITH THE PROJECT SHALL ABIDE BY THE SPEED LIMIT OF ALL ROADWAYS. ANY APPLICABLE AND REQUIRED TRAFFIC CONTROL SHALL CONFIRM TO THE LATEST EDITION OF MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
- EXISTING RESIDENTIAL DRIVEWAY SHALL BE USED FOR CONSTRUCTION ACCESS. INSTALL CONSTRUCTION ACCESS WHEEL BLANKET AS PER PLAN OR IF AND WHERE DIRECTED BY TOWNSHIP OF VERONA ENGINEER / OFFICIAL AND/OR SOIL CONSERVATION DISTRICT OFFICIAL (AS NECESSARY)

- ALL LIMIT OF DISTURBANCE FENCING, SILT FENCING AND TREE PROTECTION (AND OTHER APPLICABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES) MUST BE INSTALLED AND INSPECTED PRIOR TO RELEASE OF PERMITS. CONTRACTOR SHALL ABIDE BY ANY TOWNSHIP OF VERONA ORDINANCES STIPULATING AREAS OF NO DISTURBANCE
- ANY SOILS TRACKED ONTO THE STREET (ROADWAY) MUST BE IMMEDIATELY REMOVED. IF TRACKED SOIL REMAINS OVERNIGHT, THE TOWNSHIP OF VERONA DEPARTMENT OF PUBLIC WORKS SHALL REMOVE IT AND ASSESS THE OWNER FOR THOSE COSTS. THE TOWNSHIP OF VERONA WILL NOT TOLERATE ANY OFFSITE SILT AND SOIL TRACKING. ANY BREACH OF SILT CONTROLS WILL RESULT IN AN IMMEDIATE STOP WORK ORDER BEING ISSUED UNTIL ALL SOIL EROSION CONTROLS ARE REPAIRED AND REPLACED
- THE APPLICANT SHALL BE RESPONSIBLE FOR THE IN-KIND REPLACEMENT OF ANY CURB OR SIDEWALK SECTIONS REMOVED OR DAMAGED IN CONNECTION WITH CONSTRUCTION ACTIVITY
- THE MAXIMUM HEIGHT OF CONSTRUCTED RETAINING WALLS SHALL BE WITHIN THE LIMITATIONS OF TOWNSHIP OF VERONA ZONING REQUIREMENTS THERETO, MEASURED FROM TOP OF WALL (CAP) TO FINISHED GRADE (BELOW)
- THERE ARE NO ALTERATIONS TO THE EXISTING BUILDING AS PART OF THIS APPLICATION. THIS THE ZONING REQUIREMENTS FOR ROOF-HEIGHT & MINIMUM HABITABLE FLOOR AREAS HAVE BEEN ASSUMED AS PER VISUAL SITE INSPECTION
- EXISTING ON-SITE BUILDING(S) IS CONSIDERED TO BE A LEGALLY EXISTING STRUCTURE(S) WITH A VALID CERTIFICATE OF OCCUPANCY FOR THE ENTIRETY OF THE PREMISES ON-FILE WITH THE TOWNSHIP OF VERONA
- A COPY OF THE APPROVED AND AUTHORIZED SOIL EROSION & SEDIMENT CONTROL PLAN IN DIRECT RELATION TO THE ASSOCIATED CERTIFICATION THERETO SHALL REMAIN AT THE SITE ACCESSIBLE TO TOWNSHIP OF VERONA AND SOIL CONSERVATION DISTRICT OFFICIALS AT ALL TIMES THROUGHOUT CONSTRUCTION UNTIL COMPLETION OF THE PROJECT
- THIS PLAN-SET SHALL ONLY BE CONSIDERED A COMPLETE PLAN SET IF ALL SHEETS ARE INCLUSIVE AS PER THE SHEET INDEX PROVIDED ON DRAWING SHEET #1. ALL PLAN SHEETS SHALL MATCH THE EXACT AND CONSISTENT REVISION DATE THROUGHOUT, ALL PLAN SHEETS SHALL BE SIGNED AND SEALED BY THE ORIGINAL DESIGN ENGINEER FROM ONELLO ENGINEERING
- OWNER & CONTRACTOR SHALL CONFIRM THE LAST REVISED PLAN-SET DATE WITH ONELLO ENGINEERING PRIOR TO THE IMPLEMENTATION OR INSTALLMENT OF ANY ITEMS PROVIDED THROUGHOUT THIS PLAN SET
- THE OWNER IS RESPONSIBLE FOR THE DISCHARGE OF ANY AND ALL POOL WATER IN REGARDS TO POOL CLEANING OR POOL MECHANICAL EQUIPMENT BACKWASHING. ALL POOL WATER WHICH IS DISCHARGED MUST BE DIRECTED AWAY FROM THE ADJOINING PROPERTIES. THE OWNER SHALL BE THE SOLE PERSON RESPONSIBLE FOR ANY RUTTING, EROSION OR WATER PONDING AND FLOODING AS A RESULT FROM THE DISCHARGE OF POOL WATER EITHER ABOVE OR BELOW THE GROUND ON THIS PROPERTY OR ON ADJOINING PROPERTIES AS WELL

REVIEW AGENCIES

- TOWNSHIP OF VERONA DEPARTMENT OF ZONING, ENGINEERING, AND BUILDING

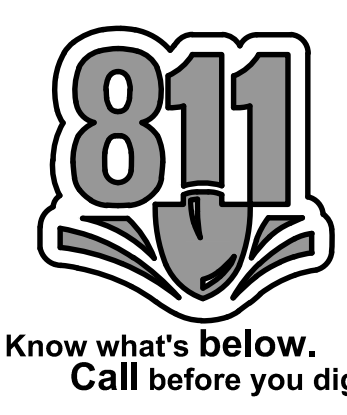
APPLICANT REPRESENTATION

- OWNER / APPLICANT: WHITING, SENETA, 175 GROVE AVENUE, VERONA, NEW JERSEY 07044, SENETA WHITING @YAHOO.COM, (973) 870-1424
- SITE ENGINEER: ONELLO ENGINEERING, 5 BEECHNUT STREET, HILLSDALE, NEW JERSEY 07642, ANGELO ONELLO, PE, (201) 774-1444, ANGELO@ONELLO.ENG.COM

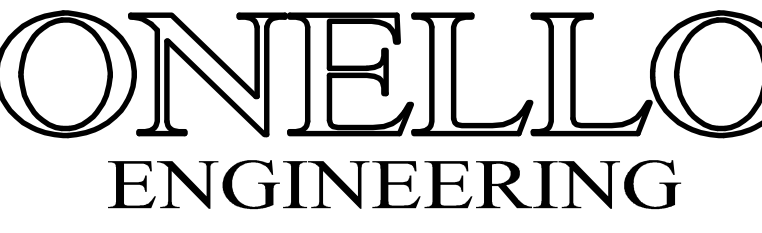
SHEET INDEX

DWG	DESCRIPTION
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3	DESIGN LAYOUT & ZONING ANALYSIS
4	SITE ENGINEERING
5	SOIL EROSION & SEDIMENT CONTROL
6	CONSTRUCTION DETAILS

WHITING, VERONA
SITE PLAN - POOL & POOLSCAPE



CALL BEFORE YOU DIG
1-800-272-1000
CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH THE REQUIREMENTS OF THE NEW JERSEY ONE-CALL DAMAGE PREVENTION SYSTEM AS IN THE "UNDERGROUND FACILITY PROTECTION ACT".



5 BEECHNUT STREET
HILLSDALE, NEW JERSEY 07642
(201) 774-1444 Angelo@OnelloEng.com

SITE PLAN
ZONING ANALYSIS & SOIL MOVEMENT

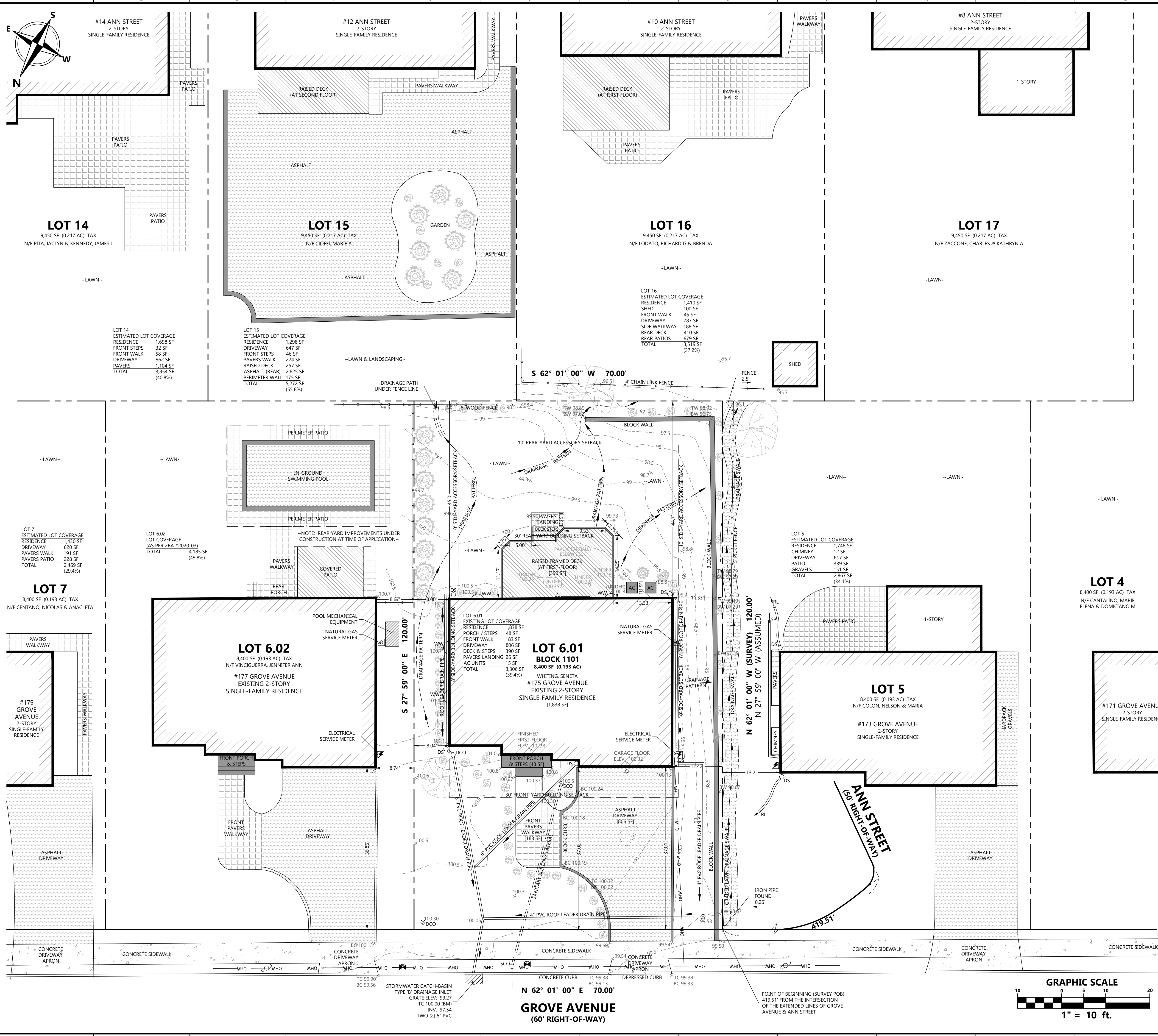
WHITING
#175 GROVE AVENUE
LOT 6.01 - BLOCK 1101
TOWNSHIP OF VERONA
ESSEX COUNTY, NEW JERSEY

DWG #
1
OF
6

FOR DESIGN REVIEW ONLY
NOT FOR CONSTRUCTION

ANGELO ONELLO III, PE
NEW JERSEY PROFESSIONAL ENGINEER
LICENSE #464849640

YEAR	MM/DD	REVISION DIGEST NOTES
2020	11/03	ORIGINAL PLAN DATE



SURVEY REFERENCE NOTES

1. SURVEY, BOUNDARY & TOPOGRAPHIC AS PLAN ENTITLED: "AS-BUILT SURVEY, PREPARED FOR LOT 6.01 BLOCK 65, 175 GROVE AVENUE, TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY" BY MCCUMSEY, LLC, JAMES R MCCUMSEY, PLS, DATED APRIL 7, 2008
2. FIELD SURVEY, MCCUMSEY, LLC, MARCH 26, 2008
3. MCCUMSEY, LLC, 36 DEPOT STREET, VERONA, NEW JERSEY, JAMES R MCCUMSEY, PLS 11766, PROJECT #506
4. OFFSITE PROPERTIES AS PER MUNICIPAL TAX MAP #11
5. OFFSITE PROPERTY IMPROVEMENTS HAVE BEEN DIGITIZED AS PER AERIAL IMAGERY VIA NJDEP GEOWEB GIS & GOOGLE EARTH; TABULATED AREAS ARE APPROXIMATE AND ARE PROVIDED FOR REFERENCE PURPOSES ONLY

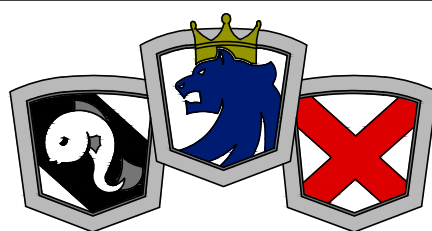
**WHITING, VERONA
EXISTING CONDITIONS**

**ONELLO
ENGINEERING**

5 BEECHNUT STREET
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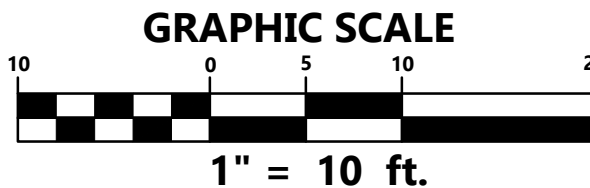
**SITE PLAN
ZONING ANALYSIS & SOIL MOVEMENT**

**WHITING
#175 GROVE AVENUE
LOT 6.01 - BLOCK 1101
TOWNSHIP OF VERONA
ESSEX COUNTY, NEW JERSEY**

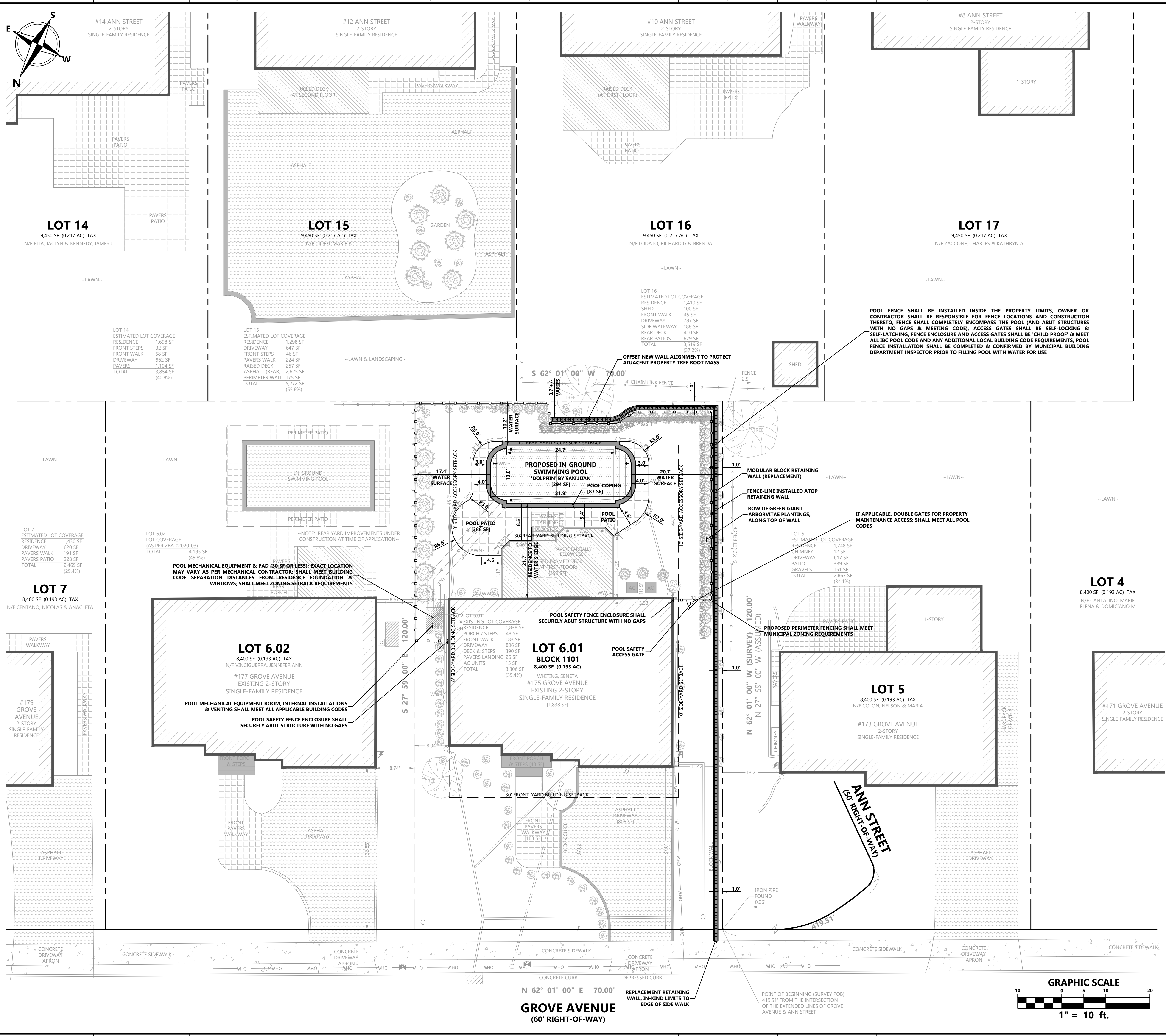


**EXISTING CONDITIONS AS
PER SURVEY REFERENCES**
ANGELO ONELLO III, PE
NEW JERSEY PROFESSIONAL ENGINEER
LICENSE #466050400

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ECR2632
Existing.dwg



TOWNSHIP OF VERONA				
BULK ZONING SCHEDULE §150-17.3				
R-60 RESIDENTIAL ZONE				
DESCRIPTION	REQUIREMENT	EXISTING	PROPOSED	CONDITION
LOT AREA (SF)	7,200 SF	8,400 SF	8,400 SF	COMPLIES
LOT AREA (AC)	0.165 AC	0.193 AC	0.193 AC	COMPLIES
LOT WIDTH	60.0 FT	70.0 FT	70.0 FT	COMPLIES
LOT DEPTH	N/A	120.0 FT	120.0 FT	COMPLIES
BUILDING HEIGHT	30.0 FT	30.0 FT	30.0 FT	ASSUMED
STORIES	2.5 STY	2.5 STY	2.5 FT	ASSUMED
BUILDING SETBACKS				
FRONT YARD (NORTH)	30.0 FT	37.0 FT	37.0 FT	COMPLIES
SIDE YARD LEFT (EAST)	8.0 FT	8.0 FT	8.0 FT	COMPLIES
SIDE YARD RIGHT (WEST)	8.0 FT	11.3 FT	11.3 FT	COMPLIES
COMBINED (FT)	18.0 FT	19.3 FT	19.3 FT	COMPLIES
COMBINED (% OF LOT WIDTH)	25.0%	27.6%	27.6%	COMPLIES
REAR YARD (SOUTH)	30.0 FT	44.7 FT	44.7 FT	COMPLIES
ACCESSORY POOL				
SIDE YARD LEFT (EAST)	10.0 FT	0.0 FT	10.2 FT	COMPLIES
SIDE YARD RIGHT (WEST)	10.0 FT	0.0 FT	17.4 FT	COMPLIES
REAR YARD (SOUTH)	10.0 FT	0.0 FT	20.7 FT	COMPLIES
BUILDING LOT COVERAGE (SF)				
	2,100 SF	1,838 SF	1,838 SF	COMPLIES
BUILDING LOT COVERAGE (%)				
	25.0%	21.88%	21.88%	COMPLIES
TOTAL IMPROVED COVERAGE (SF)				
	3,360 SF	3,306 SF	4,179 SF	VARIANCE
TOTAL IMPROVED COVERAGE (%)				
	40.0%	39.36%	49.75%	VARIANCE

LOT COVERAGE TABLE		
BUILDING	EXISTING	PROPOSED
RESIDENCE	1,838 SF	1,838 SF
SUB-TOTAL BUILDING	1,838 SF	1,838 SF
IMPROVEMENTS		
FRONT PORCH	48 SF	48 SF
FRONT WALKWAY	183 SF	183 SF
DRIVEWAY & CURBING	806 SF	806 SF
DECK & STEPS	390 SF	390 SF
PAVERS LANDING	26 SF	0 SF
POOL COPING	0 SF	87 SF
POOL WATER SURFACE	0 SF	394 SF
POOL PATIO	0 SF	388 SF
POOL MECHANICAL EQUIPMENT	0 SF	30 SF
AC CONDENSER UNITS	15 SF	15 SF
SUB-TOTAL IMPROVEMENTS	1,468 SF	2,341 SF
TOTAL LOT COVERAGE	3,306 SF	4,179 SF
COVERAGE INCREASE		873 SF
LOT AREA	8,400 SF	8,400 SF
BUILDING LOT COVERAGE	21.88%	21.88%
TOTAL IMPROVED COVERAGE	39.36%	49.75%

WHITING, VERONA DESIGN LAYOUT & ZONING ANALYSIS

2020

11/03

ORIGINAL PLAN DATE

YEAR

MM/DD

REVISION DIGEST NOTES

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SITE PLAN
ZONING ANALYSIS & SOIL MOVEMENT

WHITING
#175 GROVE AVENUE
LOT 6.01 - BLOCK 1101
TOWNSHIP OF VERONA
ESSEX COUNTY, NEW JERSEY

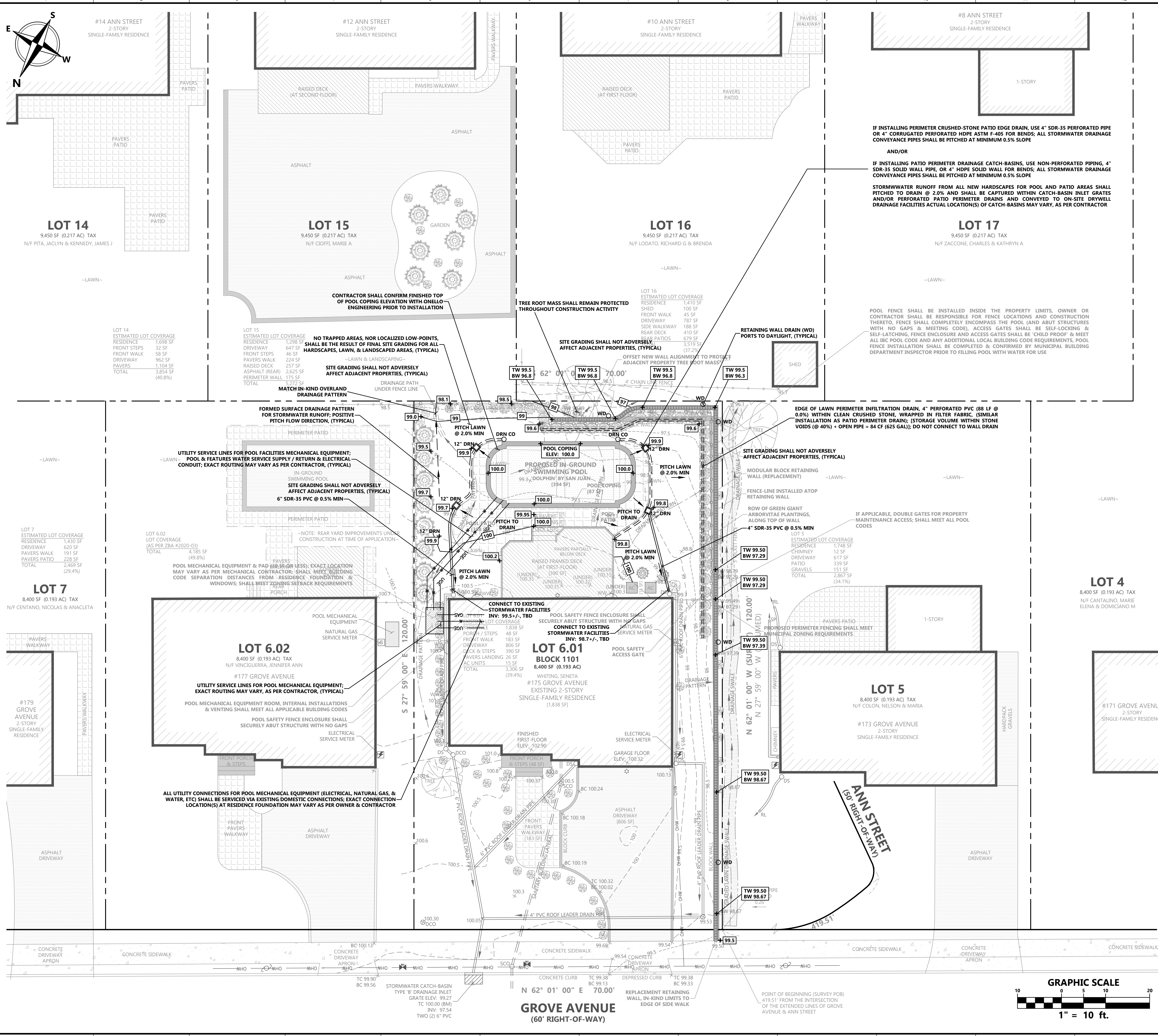
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OF

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Site Engineering.dwg



- ### UTILITIES NOTES
- UTILITY MARK-OUT SHALL BE ORDERED BY CONTRACTOR, PROVIDED BY '811' & NEW JERSEY 'ONE CALL', AND VERIFIED PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION WORK IN-RELATION TO THIS PROJECT
- IF AND WHERE APPLICABLE, THE FOLLOWING NOTES SHALL BE IMPLEMENTED
- ALIGNMENT OF SERVICE UTILITIES & FACILITIES TRENCH(S) PROVIDED FOR FEASIBILITY AND PERMITTING PURPOSES. EXACT ALIGNMENT OF ROUTING(S) MAY VARY, AS PER CONTRACTOR(S), AND/OR UTILITY(S) COMPANY(S)
 - ALIGNMENT OF POOL AND/OR SPA FACILITIES UTILITIES TRENCH(S) PROVIDED FOR REPRESENTATIONAL AND PERMITTING PURPOSES. EXACT TRENCH ALIGNMENT MAY VARY, AS PER CONTRACTOR, AND/OR UTILITY(S) COMPANY(S)
 - VARIOUS UTILITY SERVICE CONNECTIONS FROM THE RIGHT-OF-WAY ARE UNKNOWN AND SHALL BE VERIFIED BY THE CONTRACTOR
 - ELECTRICAL SERVICE (OVERHEAD AND/OR UNDERGROUND) SHALL BE AS PER PUBLIC SERVICE ELECTRICAL UTILITY COMPANY; OWNER & ELECTRICAL CONTRACTOR SHALL CONFIRM CONNECTION & LOCATION
 - PLUMBING WORK SHALL BE PERFORMED BY A STATE OF NEW JERSEY LICENSED PLUMBER. ELECTRICAL WORK SHALL BE PERFORMED BY A STATE OF NEW JERSEY LICENSED ELECTRICIAN

- ### DRAINAGE & GRADING NOTES
- UTILITY MARK-OUT SHALL BE ORDERED BY CONTRACTOR, PROVIDED BY '811' & NEW JERSEY 'ONE CALL', AND VERIFIED PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION WORK IN-RELATION TO THIS PROJECT
- IF AND WHERE APPLICABLE, THE FOLLOWING NOTES SHALL BE IMPLEMENTED
- PITCH HARDCAPE SURFACES AWAY FROM BUILDING FOUNDATIONS & POOLS @ 2.0% MINIMUM GRADE. (AREAS OF LESSER PITCH IF AND AS SPECIFIED ON GRADING DESIGN PLAN)
 - CAPTURE AND CONVEY STORMWATER RUNOFF FROM BUILDING ROOF AREAS, DRIVEWAY AREAS, AND OTHER APPLICABLE HARDCAPE AREAS, (IF AND WHERE APPLICABLE AS PER PLAN) AND DISCHARGE INTO DRYWELL(S) WITH MINIMUM 4-INCH DIAMETER SDR-35 PVC OR SCHEDULE-40 PVC PIPE (OR ALTERNATE SPECIFICATION AS PER PLAN) AT 1.0% MINIMUM POSITIVE PITCH, (AND/OR TO ALTERNATE DOWNSTREAM DRAINAGE FACILITIES AS PER PLAN)
 - FOR GRADING & DRAINAGE PURPOSES, NO GRADING SHALL ADVERSELY AFFECT ADJACENT PROPERTIES. IF SITUATION ARISES DURING CONSTRUCTION ACTIVITY, WITH GRADING DESIGN IN-DIFFERENTIAL TO THIS PLAN AND EXISTING GRADES ALONG PROPERTY LINES, CONTRACTOR SHALL IMMEDIATELY CONTACT DESIGN ENGINEER
 - LOCATIONS OF ANY INSTALLED SUB-GRADE STORMWATER DRAINAGE DETENTION FACILITIES SHALL MEET ALL STATE OF NEW JERSEY REQUIREMENTS FOR SEPARATION DISTANCES FROM BUILDINGS AND SANITARY SEPTIC SYSTEM COMPONENTS
 - ALL DRAINAGE PIPE INSTALLED BENEATH AREAS WITH VEHICLE TRAFFIC AND LOADING SHALL BE ENCASED WITHIN A DUCTILE-IRON PIPE CONDUIT SLEEVE
 - SET DRYWELL(S) AND STORMWATER RUNOFF CATCH-BASINS TO CONFORM WITH INLET ELEVATION OF DRAIN PIPE. CATCH BASIN (STORM INLETS) SHALL BE INSTALLED / LOCATED AT ANY GRADING LOW-POINTS (TRAPPED AREAS), WHETHER AT EXISTING OR PROPOSED FINISHED SURFACE GRADES, AND SHALL CONVEY STORMWATER RUNOFF TO DRAINAGE FACILITIES AS PER PLAN
 - CONVEYANCE: ALL STORMWATER DRAINAGE PIPING SHALL BE SET AT A MINIMUM SLOPE OF 1.0% UNLESS OTHERWISE SPECIFIED ON PLAN. ALL OVERLAND DRAINAGE SWALES (LAWN OR OTHER VEGETATIVE) SHALL BE A MINIMUM SLOPE OF 4.0% UNLESS OTHERWISE SPECIFIED ON PLAN. ALL IMPERVIOUS AREAS SHALL BE PITCHED AT 2.0% MINIMUM SLOPE UNLESS OTHERWISE SPECIFIED ON PLAN. GRADE ALONG BUILDING FOUNDATION PERIMETER SHALL SLOPE DOWN & AWAY AT 5.0% MINIMUM SLOPE (6" ELEVATION DROP FOR MINIMUM DISTANCE OF 10-FEET) UNLESS OTHERWISE SPECIFIED ON PLAN
 - EXISTING STORMWATER DRYWELLS MAY EXIST ON-SITE AS PART OF PREVIOUS CONSTRUCTION INSTALLATIONS, WHEREAS NO KNOWN LOCATIONS WERE DISCOVERED DURING ROUTINE TOPOGRAPHIC PROPERTY SURVEY. CONTRACTOR TO NOTIFY DESIGN ENGINEER OF ANY FOUND EXISTING DRYWELLS, AND TO SEEK APPROVAL FOR ALTERNATE DRYWELL LOCATIONS IF NECESSARY FOR RELOCATION AND/OR IF PROPOSED DRYWELL NEEDS TO BE RELOCATED ACCORDINGLY
 - PRE-EXISTING SURFACE GRADE CONDITIONS MAY NOT MEET TYPICAL & ACCEPTED SITE IMPROVEMENT STANDARDS, WHEREAS REMEDIAL DESIGN MAY NOT BE FULLY ACHIEVABLE AS PER THE SCOPE OF WORK ASSIGNED BY THESE PLANS

SOIL MOVEMENT CALCULATION

	CUT CY	FILL CY
STRIP & STOCKPILE TOPSOILS	13	0
BACK-FILL TOPSOILS	0	13
POOL EXCAVATION	70	0
SOUTHWEST SIDE-YARD INFILL	0	37
SUB-TOTAL	83 CY	50 CY

NET MOVEMENT

CUT - FILL = 83 CY - 50 CY = 33 CY [EXPORT] ✓

SOIL IMPORT

0 CY

SOIL MOVEMENT

CUT + IMPORT = 83 CY + 0 CY = 83 CY [TOTAL] ✓

- ### POOL & SPA NOTES
- POOL & SPA SHALL BE DESIGNED AND CONSTRUCTED IN CONFORMANCE ANSI/NSP-5 PER THE INTERNATIONAL RESIDENTIAL CODE AND THE VIRGINIA GRAEME BAKER POOL AND SPA STANDARDS (VGBA)
 - POOL & SPA SAFETY-FENCE AND POOL & SPA FACILITIES IN ITS ENTIRETY, SHALL BE INSPECTED BY THE MUNICIPALITY, AND SUBSEQUENTLY APPROVED PRIOR TO USE OF THE POOL & SPA. POOL & SPA SAFETY-FENCE SHALL COMPLETELY ENCOMPASS POOL, GATED ACCESS THROUGH POOL & SPA PERIMETER SAFETY-FENCE SHALL BE SELF-LATCHING AND SELF-CLOSING. POOL & SPA SAFETY-FENCE SHALL BE INSTALLED WITHIN THE PROPERTY BOUNDARIES
 - THE INSTALLATION OF ANY LIGHTING OF THE POOL SHALL BE SUCH THAT THERE SHALL BE NO GLARE OF DIRECT LIGHTING INTO ADJACENT PROPERTIES
 - POOL MECHANICAL EQUIPMENT SHALL MEET ALL MANUFACTURERS SPECIFICATIONS FOR BUILDING SEPARATION DISTANCES, INCLUDING FOUNDATIONS, WINDOWS, AND WOOD MEMBERS, AS WELL AS ANY ALL APPLICABLE ZONING SETBACK DISTANCES AND REQUIREMENTS THERETO
 - PATIO SHALL BE PITCHED TO DRAIN DOWN & AWAY FROM POOL & SPA COPING, AND RAISED COPING PERIMETER WALLS

WHITING, VERONA SITE ENGINEERING

2020	11/03	ORIGINAL PLAN DATE
YEAR	MM/DD	REVISION DIGEST NOTES
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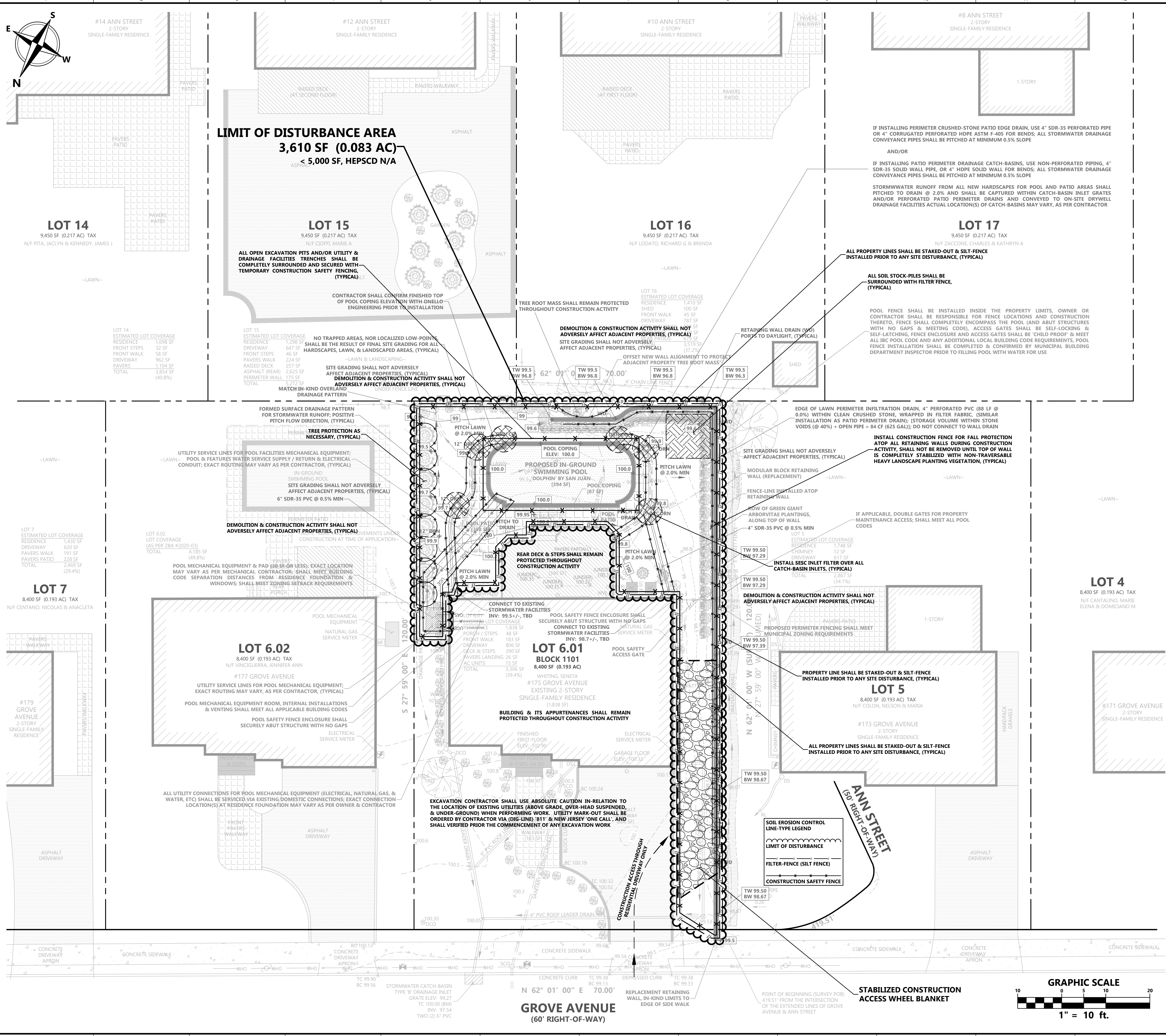
SITE PLAN

ZONING ANALYSIS & SOIL MOVEMENT

WHITING
#175 GROVE AVENUE
LOT 6.01 - BLOCK 1101
TOWNSHIP OF VERONA
ESSEX COUNTY, NEW JERSEY

DWG # 4
OF 6

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ANGELO ONELLO III, PE
NEW JERSEY PROFESSIONAL ENGINEER
LICENSE #4648592400



SOIL EROSION AND SEDIMENT CONTROL NOTES

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE "NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL" 7TH EDITION LAST REVISED DECEMBER 2017. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED
2. ALL SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, WILL BE TEMPORARILY SEEDDED AND MULCH MULCHED OR OTHERWISE PROVIDED WITH VEGETATIVE COVER. THIS TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH TIME WHEREBY PERMANENT RESTABILIZATION IS ESTABLISHED
3. SEEDING DATES: THE FOLLOWING SEEDING DATES ARE RECOMMENDED TO BEST ESTABLISH PERMANENT VEGETATIVE COVER WITHIN MOST LOCATIONS IN THE HEPCSD: SPRING - 3/1-5/15 AND FALL - 8/15 - 10/1
4. SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED
5. ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. STORM DRAINAGE OUTLET POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL
6. MULCH MATERIALS SHALL BE UN-ROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT
7. ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CORRECTED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE RECTIFIED IMMEDIATELY
8. THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT WILL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. FAX - (862) 333-4507 OR EMAIL - INFORMATION@HEPCSD.ORG
9. THE APPLICANT MUST OBTAIN A DISTRICT ISSUED REPORT-OF-COMPLIANCE PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY, NJ - DCA OR ANY OTHER CONTROLLING AGENCY. CONTACT THE DISTRICT AT 862-333-4505 TO REQUEST A FINAL INSPECTION, GIVING ADVANCED NOTICE UPON COMPLETION OF THE RESTABILIZATION MEASURES. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROHIBITS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED
10. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT UTILIZE A FIRE OR GARDEN HOSE TO CLEAN ROADS UNLESS THE RUNOFF IS DIRECTED TO A PROPERLY DESIGNED AND FUNCTIONING SEDIMENT BASIN. WATER PUMPED OUT OF THE EXCAVATED AREAS CONTAINS SEDIMENTS THAT MUST BE REMOVED PRIOR TO DISCHARGING TO RECEIVING BODIES OF WATER USING REMOVABLE PUMPING STATIONS, SUMP PITS, PORTABLE SEDIMENTATION TANKS AND/OR SILT CONTROL BAGS
11. ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RE-SEEDING, SODDING OR PLANTING. A DEPTH OF 5.0 INCHES, FIRMED IN PLACE, IS REQUIRED, AS PER THE STANDARDS FOR TOPSOILING AND LAND GRADING, LAST REVISED DECEMBER 2017
12. ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL
13. A CRUSHED STONE WHEEL CLEANING TRACKING-PAD IS TO BE INSTALLED AT ALL SITE EXITS USING 2 1/2" - 1" CRUSHED ANGULAR STONE (ASTM 2 OR 3) TO A MINIMUM LENGTH OF 50 FEET AND MINIMUM DEPTH OF 6". ALL DRIVEWAYS MUST BE PROVIDED WITH CRUSHED STONE UNTIL PAVING IS COMPLETE
14. STEEP SLOPES INCURRING DISTURBANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE "SPECIAL" MEASURES SHALL BE DESIGNED BY THE APPLICANT'S ENGINEER AND BE APPROVED BY THE SOIL CONSERVATION DISTRICT
15. THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED, IN WRITING, FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF INDIVIDUAL LOTS. NEW OWNERS' INFORMATION SHALL BE PROVIDED. ADDITIONAL MEASURES DEEMED NECESSARY BY DISTRICT OFFICIALS SHALL BE IMPLEMENTED AS CONDITIONS WARRANT

SOIL COMPACTION EXEMPTION NOTE

AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN THE METROPOLITAN PLANNING AREA (PA1). UNDER EXISTING CONDITIONS, THE SITE IS NOT COVERED IN WOODY VEGETATION FOR RE-GROWTH. IN ACCORDANCE WITH NEW JERSEY STANDARD FOR LAND GRADING (REVISED 2017), NON WOODY VEGETATED PA1 AREAS FALL UNDER THE SOIL COMPACTION EXEMPTION LIST AS AN "URBAN DEVELOPMENT" AND IS DEFINED BY NJDEP AS "PREVIOUSLY DEVELOPED"

SEQUENCE OF CONSTRUCTION

1. OBTAIN ALL NECESSARY AND APPLICABLE CONSTRUCTION PERMITS FROM MUNICIPAL BUILDING DEPARTMENT (CONSTRUCTION OFFICE) AND SOIL EROSION AND SEDIMENT CONTROL PLAN CERTIFICATION IF AND WHERE REQUIRED
2. INSTALL ALL SOIL EROSION AND SEDIMENT CONTROL (SESC) PLAN REQUIREMENTS AS SPECIFIED ON-PLAN; INCLUSIVE, BUT NOT LIMITED TO: STABILIZED CONSTRUCTION ACCESS WHEEL BLANKET, PERIMETER SILT FILTER FENCE, STORMWATER DRAINAGE CATCH-BASIN INLET FILTERS, TOP-SOIL STOCK-PILE CONFINEMENT AREA (SURROUNDED WITH SILT FILTER FENCE), AND TREE PROTECTION, IF AND WHERE APPLICABLE, AND/OR DIRECTED BY ENGINEER
3. SCHEDULE SESC INSPECTION WITH MUNICIPAL ENGINEER AND/OR BUILDING INSPECTOR, AS NECESSARY, FOR RELEASE OF ADDITIONAL PERMITS, WHERE APPLICABLE
4. DEMOLISH AND REMOVE ALL HARD-SCAPE ITEMS AS PER PLAN (IF REQUIRED). ALL REMOVED MATERIALS DURING CONSTRUCTION SHALL BE DISCARDED AND/OR RECYCLED AS PER SUITABLE STANDARDS OF THE MUNICIPALITY
5. EXCAVATE FOR STRUCTURE FOUNDATION (POOL, BUILDING, FOOTINGS, ETC) & EXCAVATE FOR DRYWELL
6. IF APPLICABLE: SCHEDULE ENGINEER (WITH FIVE (5) BUSINESS DAYS' NOTICE) FOR EXCAVATION WITNESS AT DRYWELL LOCATION TO SERVE AS SOILS TEST PIT, INSPECT FOR SEASONAL HIGH GROUND WATER, AND TEST SOILS AT LABORATORY FOR PERMEABILITY RATING
7. IF APPLICABLE: INSTALL DRYWELL AND HAVE INSPECTED BY ENGINEER PRIOR TO BACKFILL FOR CERTIFICATION OF INSTALLATION
8. GRADE SUB-BASE FOR HARDSCAPE AREAS AS NECESSARY
9. INSTALL FINISHED HARDSCAPES SURFACES (PAVERS / CONCRETE PATIOS, ASPHALT DRIVES, ETC) AND CONNECT DRAINAGE TO STORMWATER FACILITIES AS PER PLAN
10. FINALIZE SUB-GRADE GRADING WITH DRAINAGE PATTERNS, PLACE 5" LAYER OF TOP SOIL & SEED AS PER SESC REQUIREMENTS. TOPSOIL STANDARD: UNIFORM APPLICATION TO AN AVERAGE DEPTH OF FIVE (5) INCHES, MINIMUM FOUR (4) INCHES, OF TOPSOIL, FIRMED IN-PLACE, IS REQUIRED (FOR PLACEMENT) AND THEN SEEDDED AS PER SESC SPECIFICATIONS
11. TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE REMOVED UPON THE PERMANENT STABILIZATION OF ALL EXPOSED AREAS. IF REQUIRED, OBTAIN AUTHORIZATION VIA INSPECTION BY SESC OFFICIAL AND/OR MUNICIPAL ENGINEER/BUILDING INSPECTOR REQUIRED

WHITING, VERONA
DESIGN LAYOUT & ZONING ANALYSIS

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